



**Redwood Drive, Epsom. KT19 8FL
£670,000**

4 Double Bedrooms

Balcony

Reception / Diner

Sunny Garden

3 Bathrooms

Quiet Cul-De-Sac

Garage

Kitchen / Breakfast Room

Desired School Catchment



****Substantial Family Home** Large and Spacious Rooms** Show Home Condition Throughout****

Located in a quiet cul de sac in the heart of Epsom, this substantial family home comes to market in pristine show home condition throughout. Situated within catchment of various desirable schools and within a short walk from Ewell West train station and various bus links, this is a fantastic property situated in a convenient and idyllic location. To the ground floor there is a good sized hallway, modern kitchen / breakfast room, large lounge / diner and guest WC. To the first floor there are two double bedrooms, one of which offers an en-suite and both offer balcony access to the front of this stunning property. To the second floor there are two large double bedrooms, one of which offers an en-suite, and a family bathroom. Set in idyllic surroundings in a quiet, much sought after location, this is a fabulous property in beautiful location.

Book your viewing now to avoid disappointment.

Reception / Diner

19' 4" x 12' 2" (5.9m x 3.7m)

Dual aspect and beautifully presented, this fabulous reception/diner offers access via the kitchen/breakfast room or via the spacious entrance hall to the front of the property. Modern and offering ample space, this fantastic family area also opens up directly onto the sunny garden via patio doors.



Kitchen / Breakfast Room

12' 6" x 12' 2" (3.8m x 3.7m)

Modern and immaculately clean, this fabulous kitchen/breakfast room offers plenty of storage and work surface space and also benefits from the expected appliances. A good size and with direct patio door access to the garden, this fantastic kitchen also offers space for a breakfast table.



Master Bedroom

20' 4" x 12' 10" (6.2m x 3.9m)

This whole house has a feeling of space and calm and the master bedroom delivers both in volumes. Neutrally presented and in mint condition, this large master bedroom has the added benefit of a gorgeous balcony overlooking the copse on Redwood Drive.



Master En-Suite

6' 7" x 6' 7" (2m x 2m)

Everything in this lovely home is up to show home standard, including the bathrooms - there are 3 of them! This one, serving the master bedroom, offers a good sized shower cubicle, sink and WC. An added bonus for any en suite, this one also has natural light and ventilation from a window.



Bedroom 2

19' 4" x 13' 1" (5.9m x 4m)

Again spanning the width of the property and therefore offering double aspect views, bedroom 2 is vast enough to easily accommodate two children's bedroom furniture should you so wish! Presented neutrally with lovely jungle prints, this gorgeous second bedroom also benefits from its own en suite.



Bedroom 2 En-Suite

6' 7" x 6' 7" (2m x 2m)

Neutrally decorated and once again benefiting from natural light and ventilation from it's own window, this second en suite also offers a generous shower cubicle, sink and WC, all in pristine condition.



Bedroom 3 / Lounge

20' 4" x 12' 10" (6.2m x 3.9m)

Overlooking the front of this stunning family home, bedroom 3 is currently used as a second reception room (which is a GREAT idea if you don't need the extra bedroom space!). Benefiting from direct access to the balcony to the front of the property, this fabulous room also benefits from a juliet balcony to the rear.



Bedroom 4

13' 1" x 12' 10" (4m x 3.9m)

Situated at the top of this fabulous townhouse, bedroom 4 is a large double bedroom in good decorative order and offering views over the rear of this lovely family home. Located on the same floor as bedroom 2 which benefits from its own en-suite, bedroom 3 can boast its own exclusive access to the family bathroom located on the same floor.



Family Bathroom

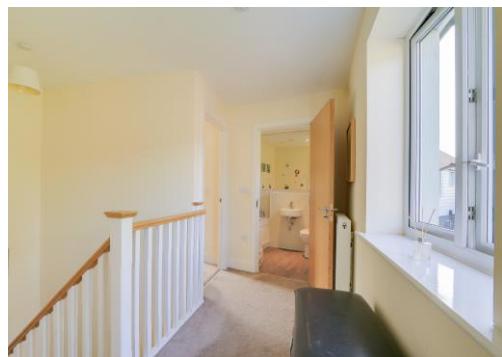
7' 7" x 5' 11" (2.3m x 1.8m)

Of a good size, bathroom 3 is located on the top floor of this luxurious townhouse and is in good, clean decoration throughout. Offering bath, sink and WC.

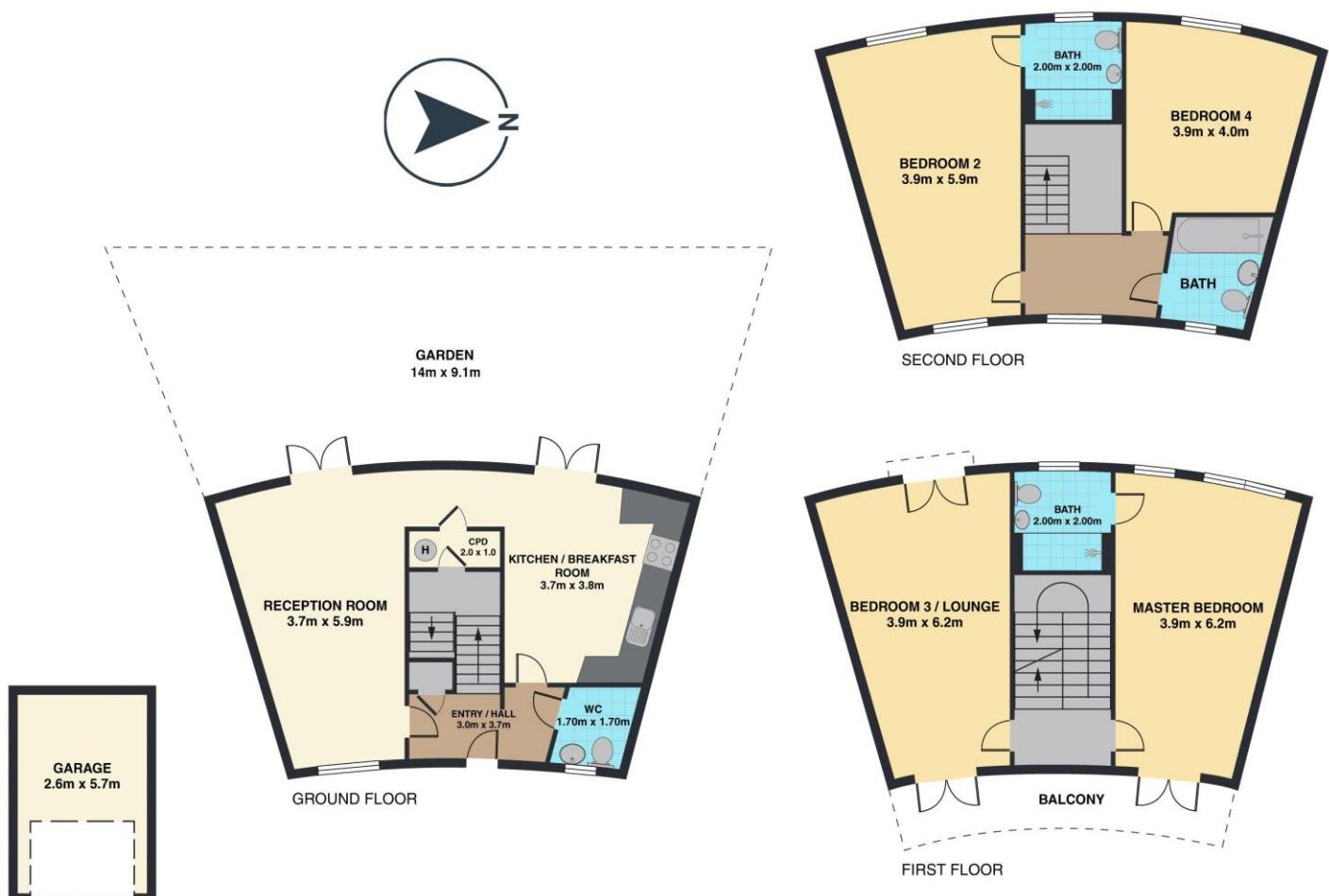


2nd Floor Landing

12' 6" x 10' 6" (3.8m x 3.2m)

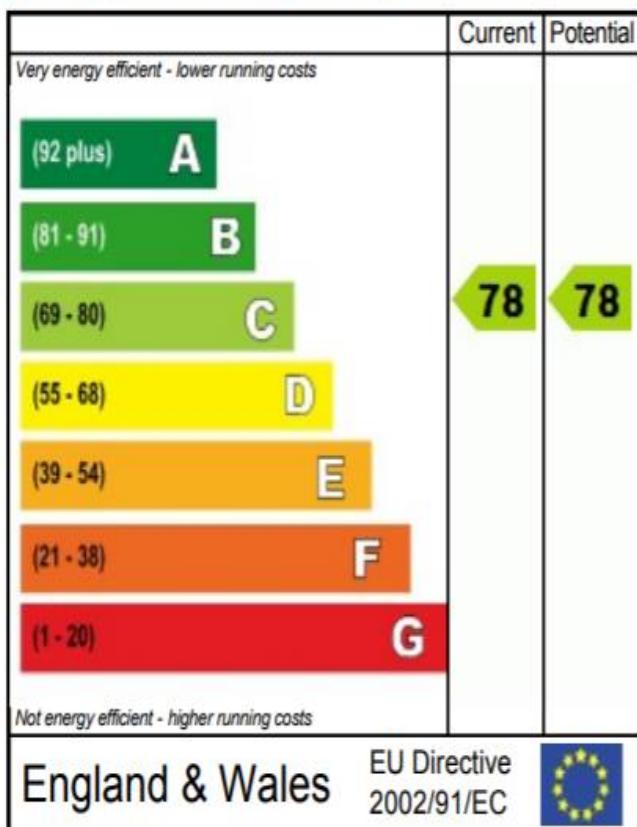


REDWOOD DRIVE, KT19

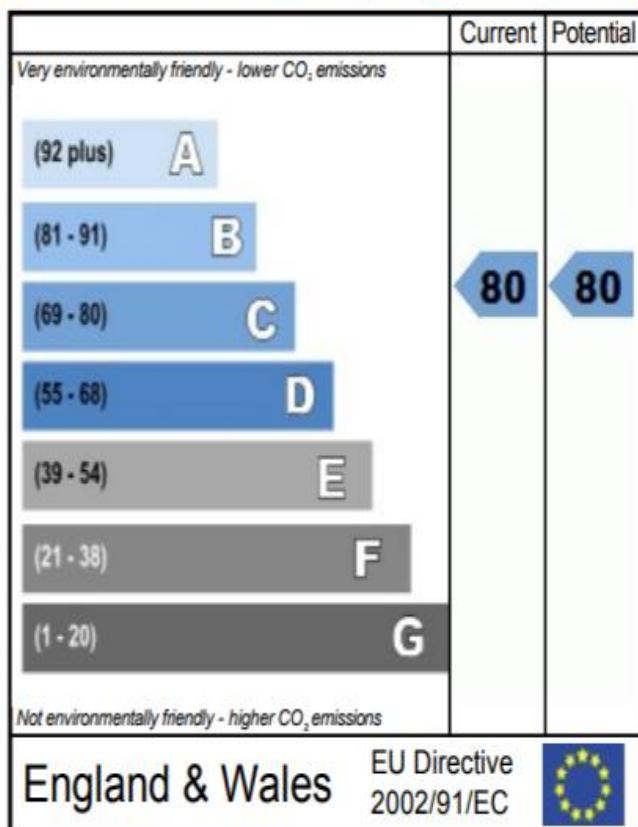


This floor plan is for illustrative purposes and layout guidance only. It is not drawn to scale. Dimensions should not be used for carpet or flooring sizes and are not intended to form part of any contract.

Energy Efficiency Rating



Environmental Impact (CO₂) Rating



Offers

Offers will only be presented to Vendors if they are made in writing. Please advise your negotiator of your intent to make and offer as soon as possible. Offers should be emailed to greetings@sachascott.com.

Money Laundering Regulations

Potential purchasers please be aware: in the event that your offer is accepted you will be required to provide documents proving your Identity such as a Passport or Driving Licence and a recent Utility or Council Tax Demand registered at your current address. Further checks on Money Laundering will be made during the Conveyancing Process.

Property Details

All efforts have been made to ensure that the information provided with regard to the type and condition of the property, its location and its contents are as provided by the Vendor in good faith. However, it should be noted that these particulars are only a guide and as such Potential Buyers should be aware that floor plans, contents and any descriptions given are meant as a guide only.